

## Memo No. <u>106/1W – 372</u>

### Dated : 25/01/2018

1<sup>st</sup> Corrigendum to e-NIT No. 15 of 2017-18 vide Memo No. 16/1W – 372 Dated 05/01/2018 of the Superintending Engineer, West Circle, Housing Directorate (erstwhile Housing Construction Circle No. II).

TENDER REFERENCE NO. :- WBHOUSING/SE/HCC-II/e-NIT-15/2017-2018

Tender ID :- Tender ID :- **2018\_HSD\_147171\_1** 

# Name of work : - Construction of 1904 of flats alongwith other amenities, at Namokeshia Mouza in Raniganj area, Asansol under RCFA Project at Raniganj for rehabilitation

Sl. No.	Description	In Place of	Please Read As
1	Tower crane up to 25 m (G+4) height (Page No. 44, Clause 2.5 Sl. No.3) & Page No. 51, Form 4	2 nos.	Deleted
2	Construction elevator (Page No. 44, Clause 2.5 Sl. No.4) & Page No. 51, Form 4	8 nos.	Deleted
3	Concrete pump (Page No. 44, Clause 2.5 Sl. No.8) & Page No. 51, Form 4	6 nos.	2 nos.
4	Additional Equipment	Nil	Mini Batching Plant 30 cum per hour for concrete work as & when required (optional) Minimum 1 (one) no. (Page No. 44, Clause 2.5 Sl. No.11)
5	Page No. 44, Clause 2.5	The bidder shall provide further details of proposed items of equipment using the relevant form in Section 4 (Bidding Forms).	Deleted
		The bidder is to provide their own estimate of the number of equipment, commensurate with their work plan and methodology.	Deleted

Sl. No.	Description	In Place of	Please Read As
6	Bid Prices and Discounts (Page No. 25, Clause 13.4)	All duties, taxes including GST and other levies payable by the Selected Bidder earlier payable In other words, the Selected Bidder will not be paid anything more than the Financial Bid, which is all inclusive. However, the Employer will assist (on a no recourse basis and in good faith claims or eligibility of the Selected Bidder. Variation of GST or any other Tax to be allowed after approval of Finance Department, Govt. of West Bengal.	The Rate Shall be quoted upto 2 (two) decimal point in Figure & words. All duties, taxes including GST and other levies payable by the Selected Bidder earlier payable In other words, the Selected Bidder will not be paid anything more than the Financial Bid, which is all inclusive. However, the Employer will assist (on a no recourse basis and in good faith claims or eligibility of the Selected Bidder. Variation of GST or any other Tax to be allowed after approval of Finance Department, Govt. of West Bengal.
7	Form FIN-1 : Financial Situation (Page No. 69 Form 17 Remain unchanged) Additional Note added		Note:- During last 5 (five) years ending 31.03.2017, the Firm should have no loss at least for 2 (two) years. (Remain Form 17 unchanged)
8	(Section 4, Form-22)	<u>Section 4</u> <u>Form 22</u> Calculation of Bid Capacity	Note 3:- If any bidder becomes lowest in the tender of RCFA Project that work value will be treated as work in hand for calculation of bid capacity in respect of subsequent tender. (Remain Form 22 unchanged)
9	OF CONTRACT (GCC) 5.2Contractor's Documents	design, in additions to space and operational needs, Project as detailed out in Employer's Requirements.	The Contractor shall exclude in the design, in additions to space and operational needs, Project as detailed out in Employer's Requirements. The Contractor shall also exclude in the design provision of landscaping, as the original as said in Employer's Requirements
10		Foundation upto plinth beam. II. On Completion of Ground 17% Floor & First Floor upto 2 <sup>nd</sup> Floor Slab (Concrete work) II. On Completion of Second	I.OnCompletion of16 %Foundation upto plinth level.II.OnCompletion ofII.OnCompletion of17%upto 2nd Floor Slab (Concretework)III.OnIII.OnCompletion of Second18%Floor,ThirdFlooruptoNumpty room roof (Concreteworks)18%IV.Brick work (Ground & 1st7%Floor)V.Brick work (2nd & 3rd Floor,7%Parapet,Stair room)& roof

Please Read As

In Place of

Sl.

No.

11

Description

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	<ul> <li>VI. Total Internal Plaster &amp; External Plaster with Plinth Protection)</li> <li>VII. Door, Window with internal Grill &amp; Frame</li> <li>VIII Sanitary &amp; Plumbing including roof Tank</li> <li>IX. External Cement based Paint &amp; Internal White Wash/Colour</li> <li>Wash</li> <li>X. Internal Electrification Including Fittings &amp; Fixing</li> </ul>	9% 14% 8% 2% 2%	VI. Total Internal Plaster & External Plaster & Flooring work with Plinth Protection) VII. Door, Window with all fittings & fixtures with internal Grill & Frame -14% VIII Sanitary & Plumbing including roof Tank with supporting concrete slab IX. External Cement based Paint & Internal White Wash/Colour Wash X. Internal Electrification Including Fittings & Fixing - 2%	9% 14% 8% 2% 2%
	TOTAL	100%	TOTAL	100%
Proposed Payment Schedule For Allied Structure		30%	A. School Building (1 No.) i)On Completion of all Concrete Works upto Roof Level	30%
	On Completion of all Brick Work Sanitary Plumbing works, Finish, Internal & External Plaster, Exterior & Interior Paints, etc. all finishes. On Completion of all internal electrification including Fitting &	30%	ii) On Completion of all Brick Work, flooring work, Sanitary Plumbing works with Fittings & Fixtures Finish, Internal & External Plaster, Exterior & Interior Paints, etc. all finishes iii) On Completion of all internal electrification	30% 15%
	Fixing B. Community Hall (2 Nos.) On Completion of all civil & Sanitary Plumbing Works	10%	including Fitting & Fixing B. Community Hall (1 No.) i)On Completion of all civil & Sanitary Plumbing Works	10%
	On Completion of all internal electrification	3%	ii)On Completion of all internal electrification	3%

including Fitting &		including Fitting &	
Fixing		Fixing	
C. Vending Area		C. Vending Area (2 Nos.)	
of all civil & Sanitary	10%	i) On Completion of all	10%
Plumbing Works		civil & Sanitary	
On Completion of all	2%	Plumbing Works	2%
internal electrification		ii) On Completion of all	
including Fitting &		internal electrification	
Fixing		including Fitting &	
		Fixing	
TOTAL	100%	TOTAL	100%
		Note:- Stage payment will be	
		made subject to execution of all	
		items on pro-rate basis upto	
		date stage following the	
		specification of BOQ attached in	
		the tender.	

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Sl. No.	Description	In Place of	Please Read As
12	Page No. 25 Clause	The Financial Bid shall comprise of the Bill of Quantity (BOQ) in the specified format, being the cost for Construction of 1904 of flats alongwith other amenities, at Namokeshia Mouza in Raniganj area, Asansol under RCFA Project at Raniganj for rehabilitation inclusive of all taxes and charges. N.B. – (1) The bidder is to quote the rate online in the space marked for quoting rate in the BOQ. (2) Only downloaded copies of the above documents are to be uploaded, virus scanned and digitally signed by the bidder. (3) The rate quoted also include costs of i) buildings including sanitary & plumbing works & electrical works, ii) school building 1(one) no. including sanitary & plumbing works & electrical works, iii) market complex 2 (two) nos. including sanitary & plumbing works & electrical works, iv) community hall 1 (one) no. including electrical works. In other words, no money over and above the total rate quoted in the BOQ will be paid by the Employer to the Selected Bidder/ Contractor and the bidder should accordingly bid for the Project. (4) Variation in consumption in contrary to BOQ will be taken careof accordingly.	the specification given in the BOQ in the specified format inclusive of all taxes and charges.
13	Additional Drawing	NIL	<ul> <li>i) Electrical layout Drawing</li> <li>ii) Market Complex structural drawing</li> <li>iii) Plumbing &amp; S&amp;P Layout</li> <li>iv) Sanitary Typical</li> <li>v) Plinth Protection &amp; Surface Drain</li> <li>vi) Sewerage, Drainage &amp; Water Supply Line</li> <li>vii) Over Head Tank</li> </ul>

All other details remain unchanged.

Superintending Engineer, West Circle, Housing Directorate (Erstwhile Housing Construction Circle No. II)

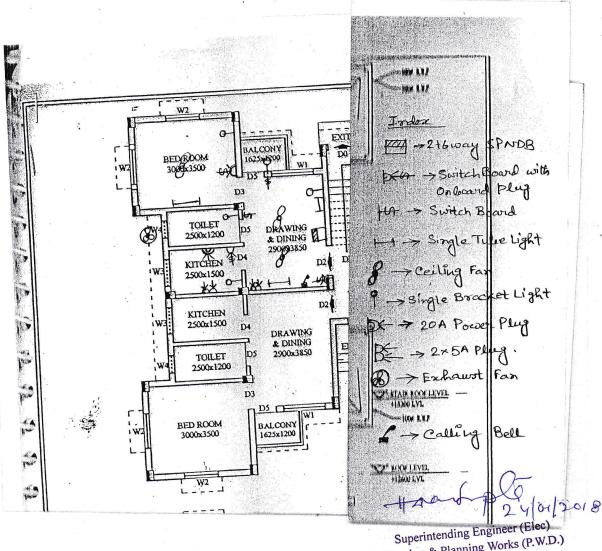
### Memo No. <u>106/1(22)/1W - 372</u>

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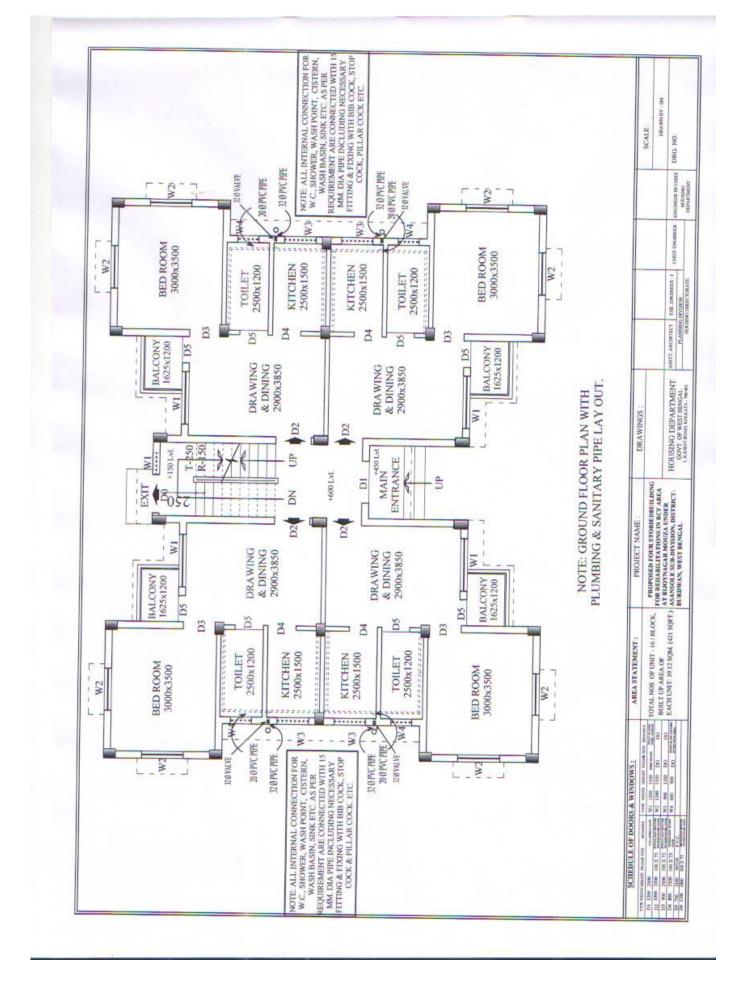
- 1) The Chief Engineer, Housing Directorate (In duplicate).
- 2) The Joint Secretary, Housing Department for display on the Website of Housing Department.
- 3) The Superintending Engineer, Housing Directorate, North Circle / South Circle / Western Circle No. I / II, Eastern Circle / Presidency Circle I & II, P.W.D., Superintending Engineer (Elec.), H&P, Works, PWD.
- 4) The Executive Engineer, Housing Directorate, Siliguri Division/Malda Division/Kolkata South-I/ Kolkata South-II/Kolkata North-I/Nadia Division/Burdwan Division/Bankura Division/Midnapore Division/ Electrical Division No. I / II.
- 5) Contractors' Association Branch under certificate of posting.
- 6) Notice Board.
- 7) Estimating Branch of this office for information.

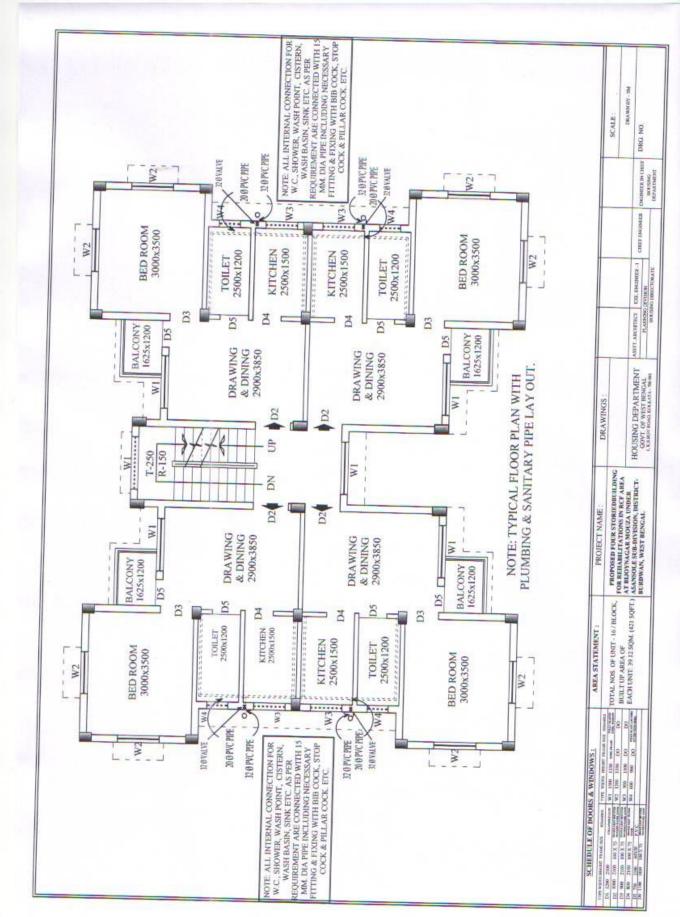
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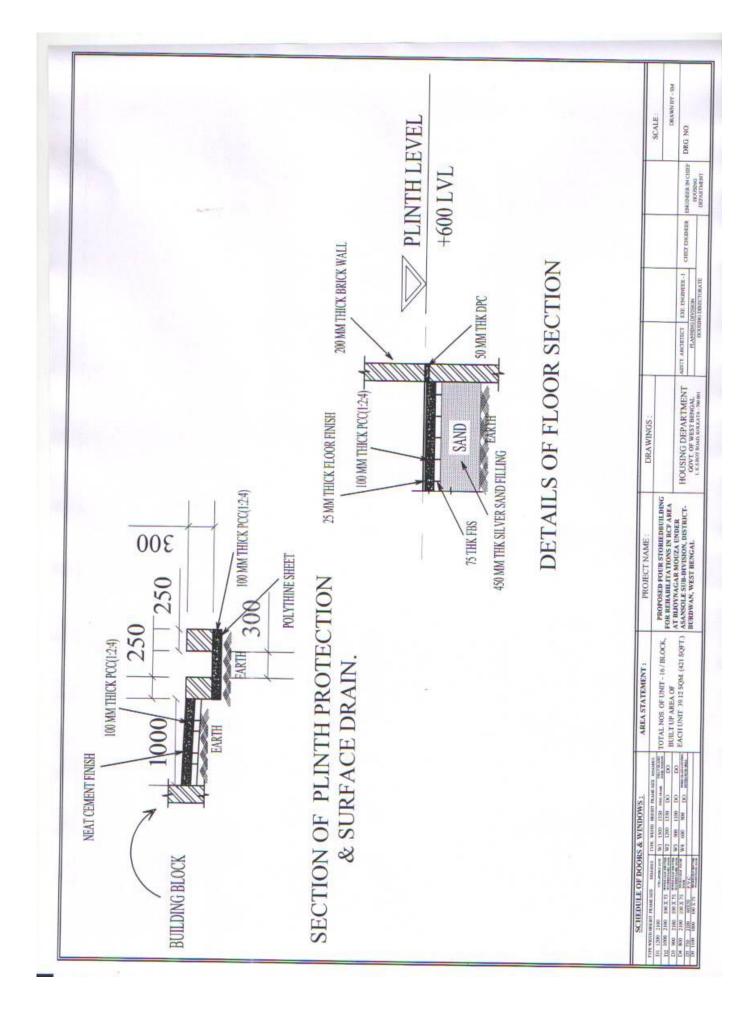


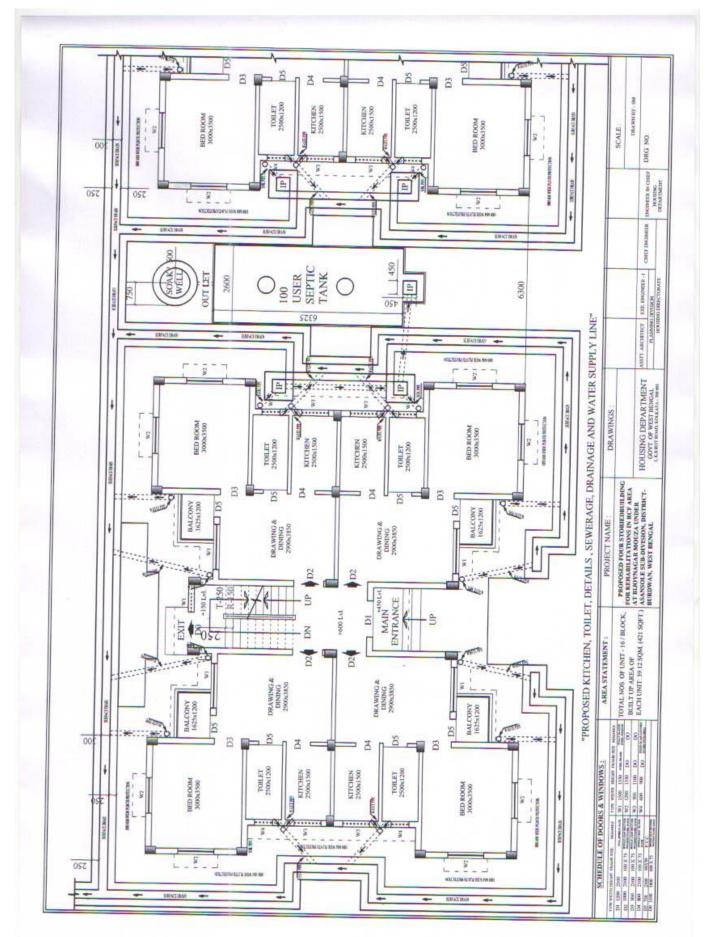
Superintending Englineer (D.C.) Housing & Planning Works (P.W.D.) Govt. of West Bengal





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